



Village of Ashville
P.O. Box 195
200 East Station Street
Ashville, OH 43103
Office: 740/983-6367 • Fax: 740/983-4703

ASHVILLE APPLICATION FOR VARIANCE/APPEAL

DATE: 5/2/2022 PHONE # 614-323-8084

APPLICANT'S NAME: C/O Larry Wills BEW Developmet, LLC

ADDRESS: 3636 Picket Post Lane Columbus, Ohio

OWNER'S NAME & ADDRESS: Clifton Brothers Land LLC (IF SAME AS APPLICANT WRITE SAME)

PROPERTY ADDRESS: Parcel D1200010014700 21.419 acres SR 752 Village of Ashville, Ohio 43103

ZONING DISTRICT: AR PROPOSED USE OF PROPERTY: 232 unit apartment development

THE PROPERTY OWNER/APPLICANT MUST SUPPLY A LEGAL DESCRIPTION OF THE PROPERTY, AS RECORDED IN THE PICKAWAY COUNTY RECORDER'S OFFICE. LEGAL DESCRIPTION ATTACHED: YES X NO

A SCALES PLOT PLAN MUST BE PROVIDED. PLOT PLAN ATTACHED: YES X NO

REASON (ZONING) (SIGN) PERMIT WAS DENIED BY ZONING INSPECTOR: Existing AR zoning code chapter

1143.05F specifies a maximum allowable building height of 35 feet from the average grade surrounding the building. Applicant is seeking approval of a variance to allow for a maximum building height of 47 feet.

APPLICANT'S REASON FOR APPEAL: Applicant desires to use a roof pitch of 6:12 for all 3-story buildings (PURSUANT TO SECTION 5.02 (A-E))

which produces a required building height per definition of 47 feet.

THE NAMES AND MAILING ADDRESSES OF ALL PROPERTY OWNERS WITHIN 200 FEET, CONTIGUOUS TO, AND DIRECTLY ACROSS THE STREET FROM THE PROPERTY, AS APPEARING ON THE PICKAWAY COUNTY AUDITOR'S CURRENT TAX LIST, IN THE PICKAWAY COUNTY COURT HOUSE, MUST BE PROVIDED.

LIST OF ADJACENT PROPERTY OWNERS (WITHIN 200 FEET) ATTACHED: YES X NO

I HEREBY APPEAL THE DECISION OF THE ZONING INSPECTOR FOR THE REASONS STATED ABOVE.

DATE: 5/2/2022 APPLICANT'S SIGNATURE: [Signature]

PRINT NAME Larry Wills

DO NOT WRITE BELOW THIS LINE

DATE FILED: 5-12-22 FEE: 7250- RECEIVED BY: KS

ACTION BY ZONING COMMISSION: ON THE DAY OF 2017

THE PLANNING & ZONING COMMISSION (APPROVED) (DENIED) THE VARIANCE/APPEAL WITH THE FOLLOWING CONDITIONS:

[Blank lines for conditions]

FOR THE FOLLOWING REASONS: (PURSUANT TO SECTION 5.02 (A-E))

[Blank lines for reasons]

THE ZONING INSPECTOR IS HEREBY AUTHORIZED TO ISSUE A (ZONING) (SIGN) PERMIT FOR THE ABOVE LOCATION, SUBJECT TO THE ABOVE CONDITIONS.

DATE: ZONING COMMISSION:

## CHAPTER 1143

### AR - Apartment Residential District

#### 1143.05 DEVELOPMENT STANDARDS.

(a) Minimum Lot Area. 4,500 square feet per dwelling unit for two-family dwellings. 4,000 square feet per dwelling unit for all other multiple-family dwellings. This requirement may be reduced to 3,000 square feet per dwelling unit if approved by the Planning and Zoning Board, pursuant to Section [1143.06](#) below.

(b) Minimum Lot Frontage. Eighty (80) feet of frontage on a publicly dedicated and improved street or highway.

(c) Minimum Front Yard Depth. Thirty (30) feet.

(d) Minimum Side Yard Width. Ten (10) feet

(e) Minimum Rear Yard Depth. Forty (40) feet.

(f) Maximum Building Height. Thirty-five (35) feet.

(g) Landscaping. If side or rear yards are located adjacent to any district where single family residences are a permitted use, landscaping and screening of those yards shall be required, pursuant to Chapter [1173](#). Such landscaping and/or screening shall consist of walls, fencing, mounding, natural vegetation or a combination of these elements, provided that such screening shall be at least seven (7) feet high or, if natural vegetation is used, capable of reaching seven (7) feet high within three (3) years of planting.

(h) Storm Drainage. The application for rezoning into the AR District must include a plan showing how storm runoff will be addressed. The accommodation of storm drainage shall be consistent with the standards and requirements of the "Stormwater Design Manual" (Mid-Ohio Regional Planning Commission; June, 1977) as may be subsequently amended.

(i) Trash and Garbage Control. All trash and garbage shall be stored in container systems which are located and enclosed so as to effectively screen them from view. The disposal of trash and maintenance of the area shall be the responsibility of the owner of the property.

(j) Development Plan. In those cases where land is proposed to be rezoned from another zoning district into the AR District, a Development Plan, as described in Section [1131.02](#) (g) of this Ordinance shall be prepared and submitted to the Planning and Zoning Board, in addition to that material specified in Appendix A. The Development Plan shall be reviewed by the Planning and Zoning Board during the zoning amendment process. In approving a Development Plan, the Planning and Zoning Board shall find that the criteria specified in Section [1131.02](#) (g) have been met. (Ord. 2000-14. Passed 7-24-00.)

Parcel #	Property Owner	Physical Address	Mailing Address
D1200010014700	Clifton Brothers Land LLC	0 State Route 752, Ashville, OH 43103	PO Box 5, Ashville, OH 43103
D1300100007200	The Village of Ashville	3219 State Route 752, Ashville, OH 43103	PO Box 195, Ashville, OH 43103
D1200010013600	Kimberly K. Welch	3134 State Route 752, Ashville, OH 43103	9560 Neiswander Rd., Ashville, OH 43103
D1200010013501	Christopher & Jessica Secrest	3188 State Route 752, Ashville, OH 43103	3188 State Route 752, Ashville, OH 43103
D1200010013500	Gustave & Dawn Peterson	3220 State Route 752, Ashville, OH 43103	3220 State Route 752, Ashville, OH 43103
D1300050000238	CI Real Estate LLC	2938 State Route 752, Ashville, OH 43103	444 W. Lake Street, Chicago, IL 60606
D1300270004209	Mark Leatherwood & David Skomorowski	0 North Business Pl., Ashville, OH 43103	184 W. Main St., Ashville, OH 43103
D1300270004203	Prairie Acres LLC	0 Commerce Ct., Ashville, OH 43103	184 W. Main St., Ashville, OH 43103
D1300270004204	RK Information Services, LLC	102 Commerce Ct., Ashville, OH 43103	11437 Matville Rd., Orient, OH 43146
D130027004205	Prairie Acres LLC	0 Commerce Ct., Ashville, OH 43103	184 W. Main St., Ashville, OH 43103 }
D1300050111201	Prairie Acres LLC	0 Commerce Ct., Ashville, OH 43103	184 W. Main St., Ashville, OH 43103 }
D1300050113300	Heather Corbin & Amy Robinson	405 Hedges St., Ashville, OH 43103	411 Hedges St., Ashville, OH 43103
D1300050113400	Green Acres Realty Investment	415 Hedges St., Ashville, OH 43103	440 Poplar St., Ashville, OH 43103
D1300050113500	David Jervis	425 Hedges St., Ashville, OH 43103	425 Hedges St., Ashville, OH 43103
D1300050113600	Green Acres Realty Investment	435 Hedges St., Ashville, OH 43103	440 Poplar St., Ashville, OH 43103
D1300050113700	John Watson & Catherine Creed	0 Hedges St., Ashville, OH 43103	445 Hedges St., Ashville, OH 43103 }
D1300050113800	John Watson & Catherine Creed	445 Hedges St., Ashville, OH 43103	445 Hedges St., Ashville, OH 43103 }
D1300050113900	Carl Martin	0 Hedges St., Ashville, OH 43103	1610 Hedges St., Ashville, OH 43103
D1300050114000	Robert Stacy	465 Hedges St., Ashville, OH 43103	11705 Walnut Creek Pk., Ashville, OH 43103
D1300050114100	William Pritchard	0 Hedges St., Ashville, OH 43103	PO Box 21, Ashville, OH 43103 }
D1300050114200	William Pritchard	475 Hedges St., Ashville, OH 43103	PO Box 21, Ashville, OH 43103 }
D1300050111300	James Reinhart	50 Hall St., Ashville, OH 43103	8819 Madison Walnut Rd., Ashville, OH 43103
D1300050111100	Frank & Carol Welsh	0 State Route 752, Ashville, OH 43103	5098 Ashville Rd., Ashville, OH 43103

**Patricia Cavinee**

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**From:** Patricia Cavinee  
**Sent:** Thursday, May 12, 2022 3:37 PM  
**To:** Jason Bartholow  
**Subject:** Variance request



Jason –  
We have received a request for a variance regarding the height for the Distillery Apartments.  
I need a date for a public hearing within 30 days from you.-  
Please let me know and call me if you have any questions. 740-248-6535  
Thanks  
Pat, Acting P&Z Clerk  
I am in tomorrow and next week Monday, Tuesday and Wednesday between 8-4.

LEGAL DESCRIPTION

21.419 ACRES

Situated in the State of Ohio, County of Pickaway, Village of Ashville, and being part of Section 12, Township 2, Range 22, and being all of that 21.419 acre tract of land (Parcel # D12-0-001-00-147-00) conveyed to Clifton Brothers Land LLC, of record in Official Record 775, Page 1149 (all references used in this description refer to the records of the Recorder's Office, Pickaway County, Ohio), said 21.419 acre tract being more particularly described as follows:

Beginning at a 5/8 inch rebar found at a northwesterly corner of that 11.268 tract of land conveyed to the Village of Ashville, of record in Official Record 694, Page 977, also being in the easterly line of the CSXT Railroad;

Thence with the easterly line of said CSXT Railroad, North 4°29'28" West, passing an iron pipe set at 746.28 feet, a total distance of 806.28 feet to a pk nail set in the centerline of State Route 752;

Thence with the centerline of said State Route 752, the following three courses:

- 1) South 89°11'34" East, a distance of 156.51 feet to a pk nail set;
- 2) Along the arc of a curve to the right having a radius of 25000.00 feet, a central angle of 1°42'39", an arc length of 746.46 feet, and the chord of which bears South 88°20'14" East, a chord distance of 746.43 feet to a pk nail set;
- 3) South 87°28'55" East, a distance of 64.59 feet to a pk nail set at a northwesterly corner of said 11.268 acre Village of Ashville tract;

Thence with westerly and northerly lines of said 11.268 acre Village of Ashville tract, the following six courses:

- 1) South 28°56'14" East, passing over a 5/8 inch rebar found at 23.42 feet, a total distance of 52.61 feet to a 5/8 inch rebar found;
- 2) South 2°31'05" West, a distance of 155.12 feet to a 5/8 inch rebar found;
- 3) South 87°28'55" East, a distance of 94.89 feet to a 5/8 inch rebar found;
- 4) South 24°41'17" East, a distance of 188.43 feet to an iron pipe set;
- 5) Along the arc of a curve to the right having a radius of 2715.00 feet, a central angle of 10°50'10", an arc length of 513.48 feet, and the chord of which bears South 20°42'29" East, a chord distance of 512.71 feet to a 5/8 inch rebar found;
- 6) North 86°28'02" West, a distance of 1279.87 feet to the point of beginning, and containing 21.419 acres of land, more or less.

Subject to all restrictions, easements, and rights of way of previous record or otherwise legally established.

Basis of Bearings: The centerline of State Route 752 was assigned a bearing of South 87°28'55" East as described for record in Official Record 775, Page 1149, Recorder's Office, Pickaway County, Ohio.

All iron pipes set are 3/4 inch inside diameter by 30 inches in length with an orange plastic cap marked "Geo Graphics".

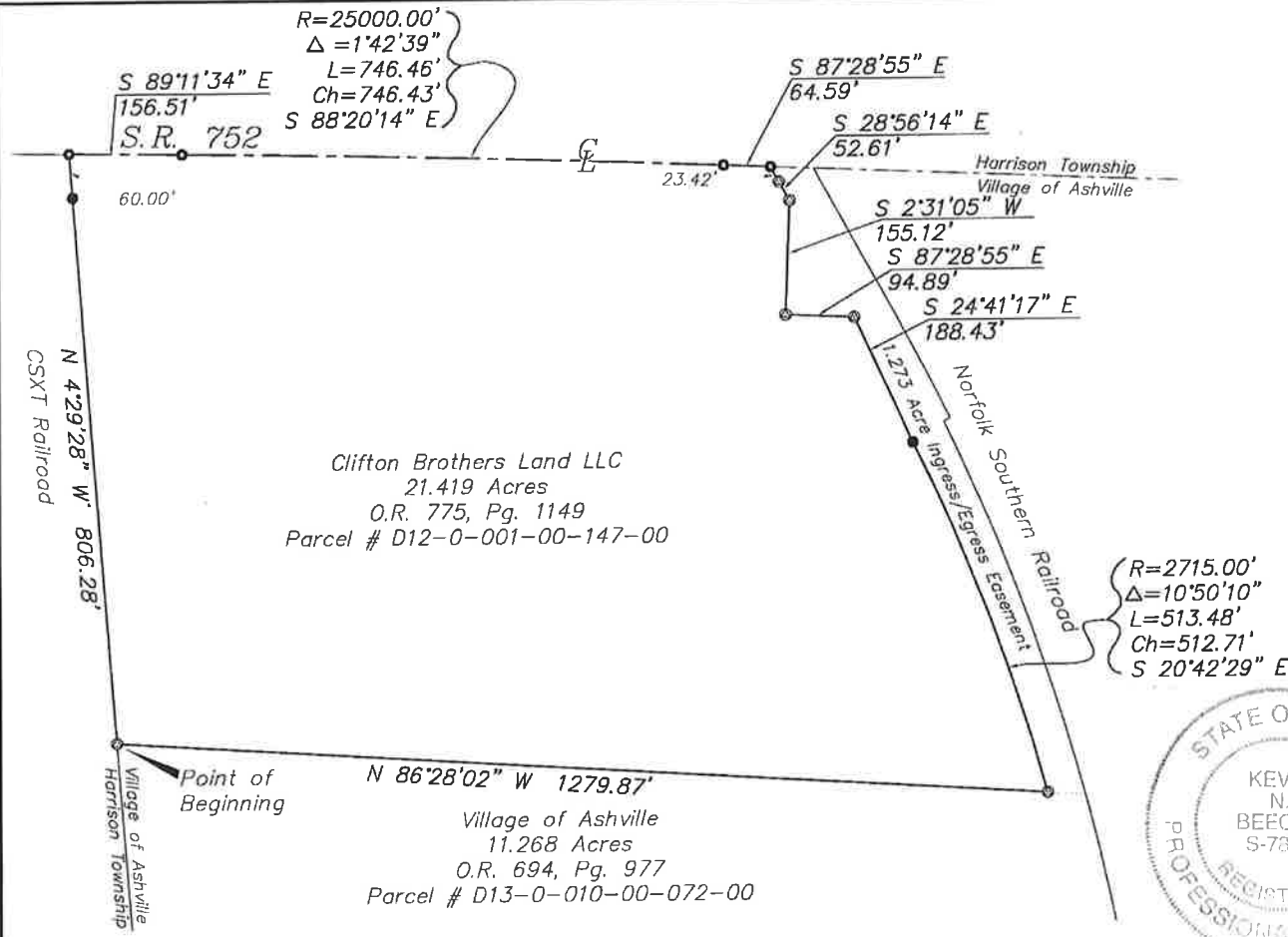
The above description was written by Kevin Beechy, Ohio Professional Surveyor No. 7891 of Geo Graphics, Inc., and is based on an actual survey of the premises performed in December 2021.

*Kevin Beechy* 4/27/22  
Kevin Beechy Date  
Ohio Professional Surveyor No. 7891



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**SURVEY FOR BEW DEVELOPMENT, LLC**  
 SITUATED IN AND BEING PART OF  
 SECTION 12, TOWNSHIP 2, RANGE 22  
 VILLAGE OF ASHVILLE, PICKAWAY COUNTY, OHIO



**SURVEY NOTES:**

Basis of Bearings: The centerline of State Route 752 was assigned a bearing of South 87°28'55\" East, as described for record in Official Record 775, Page 1149, Recorder's Office, Pickaway County, Ohio.

All linear dimensions shown are in feet and decimal parts thereof.  
 References to record plats and deeds are as shown on the drawing.

All iron pipes set are 3/4 inch inside diameter by 30 inches in length with an orange plastic cap marked "Geo Graphics".

Right of Way width of SR 752 unknown. 40' R/W shown per C & O Railway track map and Pickaway County GIS. Plans not available from Ohio Department of Transportation.

According to the Federal Emergency Management Agency's Flood Insurance Rate Map Number 39129 C 0180 J (Effective Date: July 22, 2010), the property surveyed and shown hereon lies within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain).



SCALE 1 INCH = 200 FEET

**Geo-Graphics Inc.**  
**Land Surveying & Civil Engineering**  
 3331 Livingston Avenue Columbus, Ohio 43227  
 Phone: 614-231-2016 Fax: 614-231-2018

**SURVEY FOR**  
**BEW DEVELOPMENT, LLC**  
 21.419 ACRES ~ STATE ROUTE 752  
 VILLAGE OF ASHVILLE  
 PICKAWAY COUNTY, OHIO

SCALE 1"=200'	DRAWN KB	CHECKED GWS	DATE 04-27-22	SHEET 1 OF 1
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**LEGEND**

- ● 3/4" Iron Pipe (Found/Set)
- ⊙ ● PK Nail (Found/Set)
- ▲ ▲ Railroad Spike (Found/Set)
- ⊗ ● Rebar (Found/Set)

I hereby certify that the foregoing drawing represents the results of an actual field survey of the premises performed under my responsible supervision and that the said drawing is correct to the best of my knowledge and belief.

*Kevin Beechy* 4/27/22  
 Kevin Beechy Date  
 Ohio Professional Surveyor No. 7891

ORDINANCE 2022-01

ANNEXATION DESCRIPTION ~ 21.419 ACRES

Situated in the State of Ohio, County of Pickaway, Township of Harrison, and being part of Section 12, Township 2, Range 22, and being all of that 21.419 acre tract of land (Parcel # D12-0-001-00-147-00) conveyed to Clifton Brothers Land LLC, of record in Official Record 775, Page 1149 (all references used in this description refer to the records of the Recorder's Office, Pickaway County, Ohio), said 21.419 acre tract being more particularly described as follows:

Beginning at a 5/8 inch rebar found at a northwesterly corner of that 11.268 tract of land conveyed to the Village of Ashville, of record in Official Record 694, Page 977, and annexed into the Village of Ashville by Ordinance No. 2015-09, and shown for record in Official Record 721, Page 1151, also being in the easterly line of the CSXT Railroad;

Thence with the easterly line of said CSXT Railroad, North 4°29'28" West, passing an iron pipe set at 746.28 feet, a total distance of 806.28 feet to a pk nail set in the centerline of State Route 752;

Thence with the centerline of said State Route 752, the following three courses:

- 1) Suth 89°11'34" East, a distance of 156.51 feet to a pk nail set;
- 2) Along the arc of a curve to the right having a radius of 25000.00 feet, a central angle of 1°42'39", an arc length of 746.46 feet, and the chord of which bears South 88°20'14" East, a chord distance of 746.43 feet to a pk nail set;
- 3) South 87°28'55" East, a distance of 64.59 feet to a pk nail set at a northwesterly corner of said 11.268 acre Village of Ashville tract, also being an angle point in the existing Village of Ashville Corporation Line;

Thence with westerly and northerly lines of said 11.268 acre Village of Ashville tract, also with the existing Village of Ashville Corporation Line, the following six courses:

- 1) South 28°56'14" East, passing over a 5/8 inch rebar found at 23.42 feet, a total distance of 52.61 feet to a 5/8 inch rebar found;
- 2) South 2°31'05" West, a distance of 155.12 feet to a 5/8 inch rebar found;
- 3) South 87°28'55" East, a distance of 94.89 feet to a 5/8 inch rebar found;
- 4) South 24°41'17" East, a distance of 188.43 feet to an iron pipe set;
- 5) Along the arc of a curve to the right having a radius of 2715.00 feet, a central angle of 10°50'10", an arc length of 513.48 feet, and the chord of which bears South 20°42'29" East, a chord distance of 512.71 feet to a 5/8 inch rebar found;
- 6) North 86°28'02" West, a distance of 1279.87 feet to the point of beginning, and containing 21.419 acres of land, more or less.

Subject to all restrictions, easements, and rights of way of previous record or otherwise legally established.

Basis of Bearings: The centerline of State Route 752 was assigned a bearing of South 87°28'55" East as described for record in Official Record 775, Page 1149, Recorder's Office, Pickaway County, Ohio.

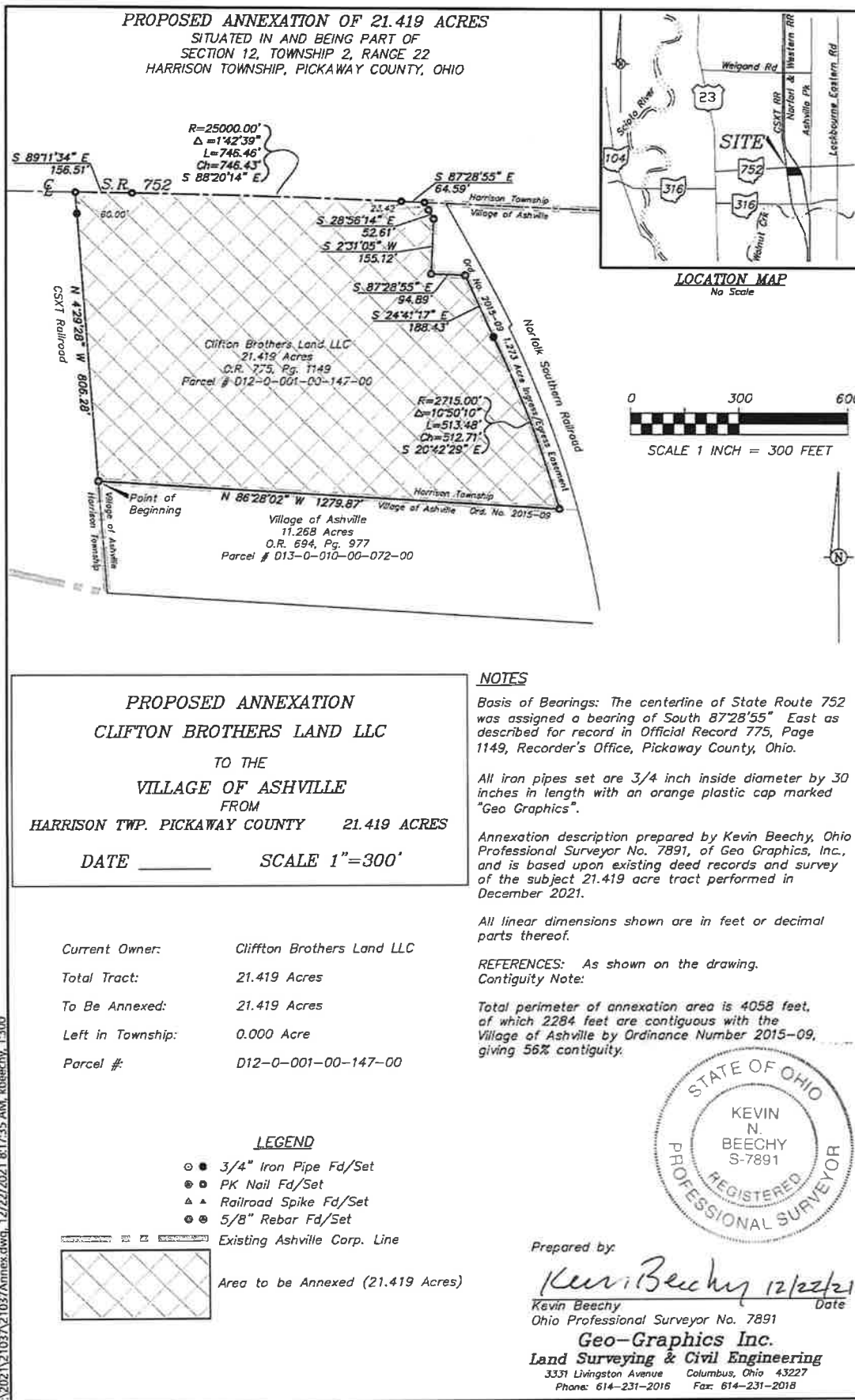
All iron pipes set are 3/4 inch inside diameter by 30 inches in length with an orange plastic cap marked "Geo Graphics".

Annexation description prepared by Kevin Beechy, Ohio Professional Surveyor No. 7891, of Geo Graphics, Inc., and is based upon existing deed records and a survey of the subject 21.419 acre tract performed in December 2021.

*Kevin Beechy* 12/22/21  
Kevin Beechy Date  
Ohio Professional Surveyor No. 7891



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**PROPOSED ANNEXATION**  
**CLIFTON BROTHERS LAND LLC**  
 TO THE  
**VILLAGE OF ASHVILLE**  
 FROM  
**HARRISON TWP. PICKAWAY COUNTY 21.419 ACRES**  
 DATE \_\_\_\_\_ SCALE 1"=300'

**NOTES**  
 Basis of Bearings: The centerline of State Route 752 was assigned a bearing of South 87°28'55" East as described for record in Official Record 775, Page 1149, Recorder's Office, Pickaway County, Ohio.  
 All iron pipes set are 3/4 inch inside diameter by 30 inches in length with an orange plastic cap marked "Geo Graphics".  
 Annexation description prepared by Kevin Beechy, Ohio Professional Surveyor No. 7891, of Geo Graphics, Inc., and is based upon existing deed records and survey of the subject 21.419 acre tract performed in December 2021.

Current Owner: Clifton Brothers Land LLC  
 Total Tract: 21.419 Acres  
 To Be Annexed: 21.419 Acres  
 Left in Township: 0.000 Acre  
 Parcel #: D12-0-001-00-147-00

All linear dimensions shown are in feet or decimal parts thereof.  
**REFERENCES:** As shown on the drawing.  
**Contiguity Note:**  
 Total perimeter of annexation area is 4058 feet, of which 2284 feet are contiguous with the Village of Ashville by Ordinance Number 2015-09, giving 56% contiguity.

**LEGEND**

- ● 3/4" Iron Pipe Fd/Set
- ● PK Nail Fd/Set
- ▲ ▲ Railroad Spike Fd/Set
- ● 5/8" Rebar Fd/Set
- ▭ Existing Ashville Corp. Line
- ▨ Area to be Annexed (21.419 Acres)



Prepared by:  
*Kevin Beechy* 12/22/21  
 Kevin Beechy Date  
 Ohio Professional Surveyor No. 7891  
**Geo-Graphics Inc.**  
**Land Surveying & Civil Engineering**  
 3331 Livingston Avenue Columbus, Ohio 43227  
 Phone: 614-231-2016 Fax: 614-231-2018

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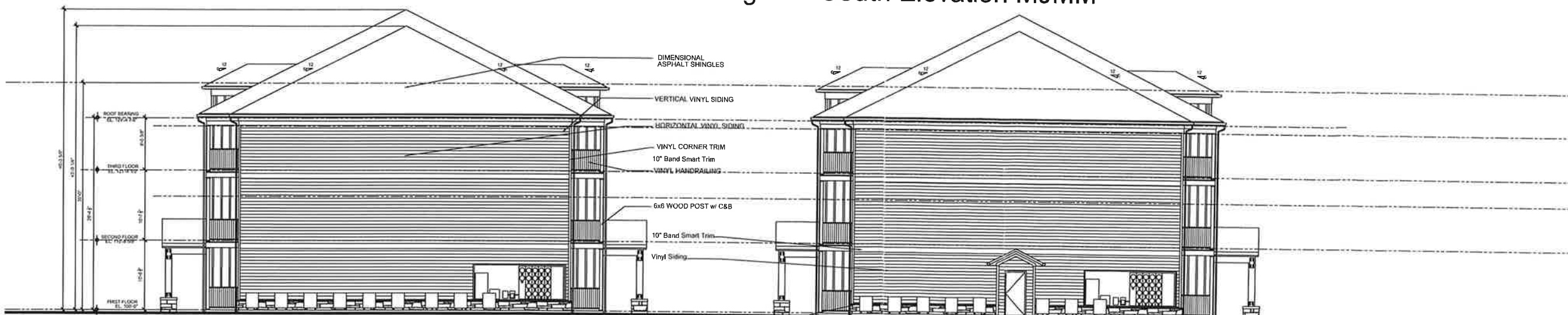




Building 24A North Elevation MJMM



Building 24A South Elevation MJMM



Building 24A West Elevation MJMM

Building 24A East Elevation MJMM

typical  
46'-3 5/8"

REVISIONS	
#	DATE

ISSUE DATE:      <<<<<<

JOB: DLB00032022

**"The Distillery"**  
 Apartment Development  
 B-W Investment LLC  
 State Route 752  
 Village of Ashville, Ohio, Pickaway County

D.L.B. Architect & Planner  
 Architect & Planner  
 353 South Grexel Ave  
 Besley, Ohio 43209  
 Phone: 614-582-2494  
 email: dlatzarch@gmail.com

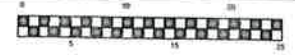


DISTRIBUTION DATE:      \_\_\_\_\_

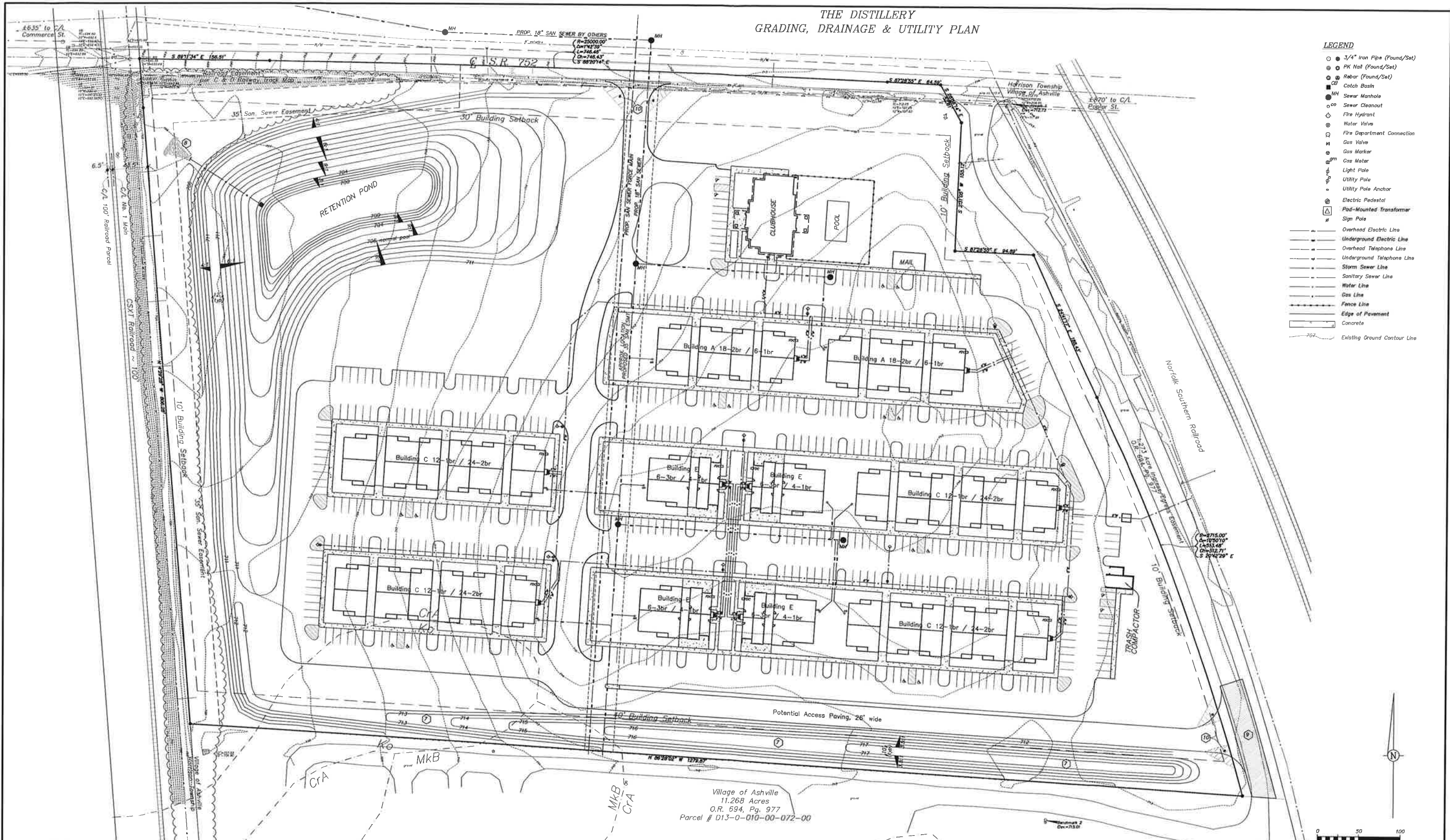
SCALE: USE GRAPHIC SCALE

SHEET: A42 A

Building 24A MJMM Exterior Elevations



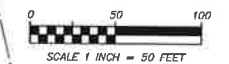
THE DISTILLERY  
GRADING, DRAINAGE & UTILITY PLAN



- LEGEND**
- 3/4" Iron Pipe (Found/Set)
  - PK Nail (Found/Set)
  - ⊙ Rebar (Found/Set)
  - ⊠ Catch Basin
  - ⊙ Sewer Manhole
  - ⊙ Sewer Cleanout
  - ⊙ Fire Hydrant
  - ⊙ Water Valve
  - ⊙ Fire Department Connection
  - ⊙ Gas Valve
  - ⊙ Gas Marker
  - ⊙ Gas Meter
  - ⊙ Light Pole
  - ⊙ Utility Pole
  - ⊙ Utility Pole Anchor
  - ⊙ Electric Pedestal
  - ⊙ Pad-Mounted Transformer
  - ⊙ Sign Pole
  - Overhead Electric Line
  - Underground Electric Line
  - Overhead Telephone Line
  - Underground Telephone Line
  - Storm Sewer Line
  - Sanitary Sewer Line
  - Water Line
  - Gas Line
  - Fence Line
  - Edge of Pavement
  - Concrete
  - Existing Ground Contour Line

- NOTES:**
- 1 Conceptual sanitary sewer design to include 8" dia. gravity sewer, associated manholes and 6" dia. sanitary sewer laterals to serve each building. Fully engineered design to be supplied as part of the final engineering plan set. For the sanitary sewer department's request, each building shall have a separate waste line system installed which will collect the kitchen drains from each unit isolated from the other sewer lines and routed through a grease trap installed outside the building prior to discharge into the sanitary sewer system.
  - 2 The existing site drains generally to the northwest and discharges to an existing 24" dia. storm sewer. The proposed storm water design will consist of grading the site to provide sheet drainage and storm catch basins placed in a sumped pavement street section and piping as required to collect and direct storm water to detention area(s). Storm water detention and water quality to be provided by the proposed retention area. Fully engineered design to be supplied as part of the final engineering plan set.
  - 3 Conceptual water service design to include a master meter (meter to be installed in above ground heated hot box structure) with 8" dia. water service loop with 10 fire hydrants. Fire hydrants shall have a 4-1/2" steamer part (a 5-inch "Storz" fitting, with a 30 degree turn-down is required on all steamer port connections) and two additional 2-1/2" side discharge ports equipped with National Standard Hose Thread. (All threads provided for fire department connections to sprinkler systems, standpipe systems, yard hydrants or any other fire hose connection shall be compatible with the connections utilized by local fire department. All hydrants shall be installed, inspected, tested, and approved in accordance with NFPA 24 and meet the local water purveyor's hydrant specifications. All on site hydrants shall be private and painted red. Fully engineered design to be supplied as part of the final engineering plan set.
  - 4 Each building to have 2" dia. domestic service and fire service connection (to be sized based upon existing pressures). Each apartment building to be equipped with a Fire Department Connection (FDC) to have a 5-inch "Storz" fitting, with a 30 degree turn-down, for ALL FDC. All FDC shall be required to pass a hydrostatic test (200' per 2 hours) as required for the building fire suppression system. All FDC lines shall be flushed prior to final approval and witnessed by the A.H.L. FDC shall be labeled per A.H.J. - "HTFD" and shall be permanently mounted on all fire department connections service fire sprinklers, standpipes, or fire pump connections. A Horn/Stroke light is to be installed on the outside wall above the FDC. All sprinkler control valves must be supervised with tamper devices connected to the fire supervisory system and to a central station alarm service.
  - 5 Where applicable, Knox Rapid Entry System box (or boxes) shall be installed in a location determined by the Fire Authority Having Jurisdiction (AHJ), approximately 5 feet above grade. (AHJ will determine if additional secure key boxes are needed for large complexes.)
  - 6 All buildings shall have an approved ratio coverage for emergency responders to meet Rule 5, Section 510 of the 2017 Ohio Fire Code.
  - 7 4' high earthen mound along the south property line to be established with a 10' crest. Continuous tree row to be planted at a 30' O.C. spacing. Blue spruce is recommended. A hedge row of barwood or other approved shrubbery to be established between said trees.
  - 8 Retention pond to outlet via 102 linear feet of 15" dia. pipe @ 0.7% outletting onto the ground surface via a level spreader, consisting of a combination of Type "C" and Type "D" Rock Channel Protection with a geotextile fabric filter. Fully engineered design to be supplied as part of the final engineering plan set.
  - 9 Proposed paved portion of off-site drive.
  - 10 30' clear vision triangle.

Village of Ashville  
11.268 Acres  
O.R. 694, Pg. 977  
Parcel # D13-0-010-00-072-00



**Geo-Graphics, Inc.**  
Land Surveying & Civil Engineering  
3331 Livingston Avenue Columbus, Ohio 43227  
Phone: 614-231-2016 Fax: 614-231-2018

**DEVELOPMENT PLAN**  
THE DISTILLERY  
21.49 ACRES ~ STATE ROUTE 752  
VILLAGE OF ASHVILLE  
PICKAWAY COUNTY, OHIO

SCALE	DRAWN	CHECKED	DATE	SHEET
1"=50'	KWH	GWS	3-29-22	02-4

Revised: 8-20-22